

**Adopted March 24, 2008**  
**Old Town Clifton Mixed Use District and Design Standards**

*APPENDIX C*  
***Old Town Clifton Mixed Use District and Design  
Standards***

# ACKNOWLEDGEMENTS

## Mesa County Board of Commissioners

**Craig Meis, Chairman**  
*District I*

**Steven Acquafresca**  
*District II*

**Janet Rowland**  
*District III*

## Mesa County Planning and Economic Development Department

*Kurt Larsen, AICP, Department Director*  
*Keith Fife, AICP, Long Range Planning Division Director*  
*Michael Warren, AICP, Senior Planner*

### Residents and Businesses

Special thanks to Old Town Clifton Residents and Businesses

### Consultant Team

#### **THK Associates, Inc. – Planners and Landscape Architects**

*Kevin Shanks, ASLA, Vice President / Principal in Charge*  
*Dave Duclos, ASLA, Senior Planner*  
*Stephen Sellenriek, ALSA, APA, Senior Planner*

#### **Abo Copeland Architects - Architects**

*Ronald Abo, AIA, NCARB, Project Architect*

#### **Felsburg, Holt and Ullevig – Engineers**

*Christopher Fasching, PE, Principal*  
*Jeffrey Ream, PE, PTOE, Senior Transportation Engineer*  
*David Hattan, PE, PTOE, Associate*

**Adopted March 24, 2008**  
**Old Town Clifton Mixed Use District and Design Standards**

**Table of Contents**

***Acknowledgements***

***1.0 Introduction***

***2.0 Intent***

***3.0 Boundary***

***4.0 Review Process***

***5.0 Land Use Tables***

***6.0 Design Standards***

- 6.1 Required Mix of Uses*
- 6.2 Layout, Dimensions and Size Requirements*
- 6.3 Parking and Circulation*
  - 6.3.1 Surface Parking Lots*
  - 6.3.2 Parking Lot Landscape*
  - 6.3.3 Bicycle Parking*
- 6.4 Service/Delivery, Emergency and Utility Access*
- 6.5 Pedestrian Circulation*
- 6.6 Community Spaces and Special Features*
- 6.7 Building, Siting and Orientation*
- 6.8 Drainage and Water Quality*
- 6.9 Site Preparation*
- 6.10 Landscape Architectural Design*
  - 6.10.1 Streetscape*
  - 6.10.2 Building Site Landscape*
  - 6.10.3 Expansion Areas within Developed Lots*
  - 6.12.4 Irrigation*
  - 6.12.5 Plant Material Selection*
  - 6.12.6 Recommended Plant List*
  - 6.12.7 Soil Amendments and Mulches*
  - 6.12.8 Time of Installation*
  - 6.12.9 Maintenance*
- 6.11 Site Furniture and Amenities*
- 6.12 Fencing and Screen Walls*
- 6.13 Lighting*
  - 6.15.1 Parking Area Lighting*
  - 6.15.2 Accent and Security Lighting*
  - 6.15.3 Street Lighting –Public Right-Of-Way*
  - 6.15.4 Pedestrian Lighting-Public Right-Of-Way*
- 6.14 Open Space/Entryways/Landscaping*

**Adopted March 24, 2008**  
**Old Town Clifton Mixed Use District and Design Standards**

**7.0 Architectural Design Guidelines**

- 7.1 *Architectural Program Standards*
- 7.2 *Building Character and Theme*
- 7.3 *Vertical or Horizontal Plane*
- 7.4 *Building Façade Treatment*
- 7.5 *Pedestrian Access and Façade Transparency*
- 7.6 *Commercial Infill Development/Redevelopment*
- 7.7 *Building Character and Theme*
- 7.8 *Roof Design*
- 7.9 *Mechanical Equipment*

**8.0 Sign Design**

**9.0 Maintenance Standards**

**10.0 Definitions**

**Adopted March 24, 2008**  
**Old Town Clifton Mixed Use District and Design Standards**

**1.0 INTRODUCTION:**

The purpose of the Old Town Clifton Mixed Use Zone District (MU-OTC) and the accompanying design standards is to promote the unique character of the area, culture and desires of the citizens, encourage the development of a mix of commercial and residential uses within Old Town Clifton and implement the Clifton/Fruitvale Community Plan.

*These Design Guidelines are intended to assist the public, developers and builders in understanding the overall development concepts of the Old Town Clifton Mixed Use Zone District (MU-OTC), as well as to provide standards and guidelines for the development of projects within the plan area. These mandatory standards and guidelines are intended for the mutual benefit and protection of the community and all present and future owners and lessees within the area. The Design Guidelines are designed to protect against depreciation of property values by insuring that the Old Town Clifton Planning Area will become a mixed-use community and remain an attractive environment for business, offices, services and housing. Additionally, the Design Guidelines will coordinate the design approach for the different projects in the Old Town Clifton Mixed Use Zone District (MU-OTC) area and to ensure that development is cohesive and coordinated.*

*Anticipated land uses in the Old Town Clifton Mixed Use Zone District (MU-OTC) (including retail, commercial, residential, multi-family, and urban residential). In addition, possible civic uses may include a library, county government satellite offices, public plazas, entertainment venues, hotel/motel, post office annex and village centers. These Design Guidelines address the development standards and design considerations for these land uses; however, the developer or builder assumes the responsibility to be familiar with all the requirements of Mesa County, which apply to a given project, including but not limited to, the development standards in Chapter 7 of the Mesa County Land Development Code.*

*Development standards in the Mesa County Land Development Code, Road and Bridge Specifications, and Standards are also applicable to the MU-OTC District. It is the responsibility of the developer, builder, owner or lessee to understand and be familiar with the standards and regulations that are applicable.*

**2.0 INTENT:**

*Mesa County, Colorado has established within the Mesa County Land Development Code site and building development criteria to be implemented within the Clifton Area. This document provides a regulating tool for the cohesive development of the Old Town Clifton area in site development standards, building character, landscape and streetscape standards.*

**3.0 BOUNDARY:**

S:\PLANNING\Clifton Plan Implementation\52007\Old Town Plan Project\Final Documents and Exhibits\Adopted Documents\Appendix C - OTC MU District and Design Standards.doc

**Adopted March 24, 2008**  
**Old Town Clifton Mixed Use District and Design Standards**

*The Old Town Clifton planning area is bounded on the north side by the Price Ditch on the south by Front Street; on the west by the I-70 Business Loop, and on the east by 33 Road.*

*The Old Town Clifton Mixed Use Zone District is hereby established and delineated as shown on **Figure 1**, "Old Town Clifton Future Land Use and Transportation Circulation Plan," and includes all areas designated as Mixed Use, as adopted and amended periodically by Mesa County. If a parcel of land is partially covered by said district, then the entire portion within the area is to be covered by these regulations.*

**4.0 REVIEW PROCESS:**

*All new development, including redevelopment and infill development, shall be required to submit appropriate application materials and will be review by Mesa County as required in the Development Review & Approval Procedures in Chapter 3 of the Mesa County Land Development Code. All reviews and approvals shall be made in accordance with the design standards incorporated herein and all applicable sections of the Mesa County Land Development Code.*

**Adopted March 24, 2008**  
**Old Town Clifton Mixed Use District and Design Standards**

**5.0 OTC MIXED USE DISTRICT PERMITTED USES (Table 1)**

*A = Permitted Use C = Conditional Use Blank = Prohibited Use*

Use Category	Specific Use Type	Old Town Clifton Mixed Use District MU-OTC	Use-specific standard  Code Sections
<b>Household Living</b>	Business Residence	A	5.2.4
	Rooming/Boarding House	C	
	Single Family Attached	A	
	Single Family Detached		
	Accessory Dwelling Unit	A	5.3.7
	Duplex	A	
	Multifamily	A	5.2.13
	Agricultural Labor Housing		
	Townhouse/Row House	A	
	Manufactured Housing Park		
	All Other Household Living	C	
<b>Group Living</b>	Assisted Living Facility	C	5.2.10
	Treatment Facility		5.2.10
	Small Group Living Facility	C	5.2.10
	Large Group Living Facility	C	5.2.10
<b>Colleges and Vocational Schools</b>	Colleges and Universities	A	
	Vocational/Technical/Trade Schools	A	
	All Other Educational Institutions	C	
<b>Community Service</b>	Community Activity Building	A	
	All Other Community Service	C	
<b>Cultural</b>	Museums, Art Galleries, Opera Houses, Libraries	A	
<b>Day Care</b>	Home-based Day Care	C	
	Limited Day Care	C	
	General Day Care	A	
<b>Detention Facilities</b>	Jails, Honor Camps, Reformatories		
	Police Sub-Station	A	
	Law Enforcement Rehabilitation Centers		
<b>Hospital/Clinic</b>	Medical and Dental Clinics	A	
	Counseling Centers (non-residential)	A	
	Hospital/Mental Hospital	C	
	Physical and Mental Rehabilitation (residential)	C	
	All Other	C	
<b>Parks and Open Space</b>	Cemetery		
	Golf Course		

**Adopted March 24, 2008**  
**Old Town Clifton Mixed Use District and Design Standards**

Use Category	Specific Use Type	Old Town Clifton Mixed Use District  MU-OTC	Use-specific standard  Code Sections
	Campground, Primitive		
	Golf Driving Ranges		
	Parks/Lakes/Reservoirs	A	
	All Other	C	
<b>Religious Assembly</b>	All	A	5.2.17
<b>Safety Services</b>	All	A	
<b>Schools</b>	Boarding School		
	Elementary Schools		
	Secondary Schools		
<b>Utility, Basic</b>	Utility Service Facilities	C	
	All Other Utility, Basic	C	
<b>Utility Corridors</b>	Transmission Lines (above ground)		
	Transmission Lines (under ground)	A	
	Utility Treatment, Production or Service Facility	C	
	All Other	C	
<b>Entertainment Event, Major</b>	Indoor Facilities	C	
	Outdoor Facilities	C	
<b>Lodging</b>	Hotels and Motels	A	
	Bed and Breakfast (1-3 guest rooms)	A	5.2.3
	Bed and Breakfast (4-5 guest rooms)	A	5.2.3
<b>Offices</b>	General Offices	A	
	Office with Drive-Through	A	
<b>Parking, Commercial</b>		C	
<b>Recreation Entertainment, Outdoor</b>	Campgrounds and Camps (non-primitive)		
	Resort Cabins and Lodges		
	Swimming Pools, Community	A	
	Shooting Ranges		
	Amusement Park	C	
	Drive-In Theater		
	Miniature Golf	C	
	Riding Academy, Roping, or Equestrian Area		
	Zoo		
	All Other Outdoor Recreation	C	
<b>Retail Sales and Service</b>	Adult Entertainment		
	Alcohol Sales, retail	A	
	Alcohol Sales, by the drink	A	



**Adopted March 24, 2008**  
**Old Town Clifton Mixed Use District and Design Standards**

Use Category	Specific Use Type	Old Town Clifton Mixed Use District  MU-OTC	Use-specific standard  Code Sections
	Animal Care/Boarding/Sales, Indoor	A	
	Animal Care/Boarding/Sales, Outdoor		
	Contractors and Trade Shops, Indoor operations and storage	A	
	Contractors and Trade Shops, Indoor operations and outdoor storage (including heavy vehicles)		
	Contractors and Trade Shops, outdoor storage and operations		
	Delivery and Dispatch Services (vehicles on site)		
	Drive-through uses	C	
	Food Service, Catering	A	
	Food Service, Restaurant (including alcohol sales)	A	
	Food Service, Restaurant with Drive-Through	A	
	Farm Implement/Equipment Sales/ Service	C	5.2.19
	Farmer's Market	A	
	Flea Market (indoor)	A	
	Feed Store	A	
	Fuel sales, automotive/ appliance	A	
	Fuel sales, heavy vehicle		
	General Retail Sales, Indoor operations, display and storage	A	
	General Retail Sales, outdoor operations, display and storage	C	5.2.12
	Landscaping materials sale		
	Manufactured Building Sales, Service, and Storage		
	Rental Service, Indoor display/ storage	A	
	Rental Service, outdoor display/ storage		
	Repair, small appliance	A	
	Repair, large appliance	C	
	Personal Services	A	
	All Other Retail Sales and Services	C	
<b>Self-Service Storage</b>	Mini-Warehouse		
<b>Vehicle Repair</b>	Auto and Light Truck Mechanical Repair	C	
	Body Shop	C	
	Truck Stop/Travel Plaza		
	Tire Recapping and Storage		
	All Other Vehicle Repair	C	
<b>Vehicle Service, Limited</b>	Car Wash	C	

**Adopted March 24, 2008**  
**Old Town Clifton Mixed Use District and Design Standards**

Use Category	Specific Use Type	Old Town Clifton Mixed Use District  MU-OTC	Use-specific standard  Code Sections
	Gasoline Service Station	A	
	Quick Lubrication	A	
	All Other Vehicle Service		
<b>Manufacturing and Production, Junk Yard</b>	<b>Indoor Operations and Storage</b>		
	Assembly	C	
	Food Products	C	
	Manufacturing/Processing		
	<b>Indoor Operations with Outdoor Storage</b>		
	Assembly		
	Food Products		
	Manufacturing/Processing		
	<b>Outdoor Operations and Storage</b>		
	Assembly		
	Food Products		
	Manufacturing/Processing		
	All Other Industrial Service		
	Junk Yard		
<b>Warehouse and Freight Movement</b>	Indoor Operations Storage and Loading		
	Indoor Storage w/Outdoor Loading Docks		
	Outdoor Storage or Loading		
	Gas or Petroleum Storage		
	Sand or Gravel Storage		
	All Other		
<b>Waste-Related Use</b>	Non-hazardous Waste Transfer		
	Medical/Hazardous Waste Transfer Station		
	Solid Waste Disposal Sites		
	Recycling Collection	C	
	All Other Waste-Related		
<b>Wholesale Sales</b>	Wholesale Business (No Highly Flammable Materials/Liquids)	C	
	Agricultural Products	A	
	All Other Wholesale Uses		
<b>Agricultural</b>	Animal Confinement		
	Dairy		
	Confined Animal Feeding Operation, Feedlot		
	Forestry, Commercial		

**Adopted March 24, 2008**  
**Old Town Clifton Mixed Use District and Design Standards**

Use Category	Specific Use Type	Old Town Clifton Mixed Use District  MU-OTC	Use-specific standard  Code Sections
	Pasture		
	Winery	C	
	All Other Agriculture		
<b>Aviation or Surface Passenger Terminal</b>	Airports/Heliports		
	Bus/Commuter Stops	A	
	Bus/Railroad Depot		
	Helipads		
	All Other Aviation or Surface Passenger Terminal	C	
<b>Mining</b>	Oil or Gas Drilling		
	Sand or Gravel Extraction or Processing		
	All Other Mining		
<b>Telecom. Facilities</b>	Telecommunication Support Structures		
	Telecommunications Facilities	C	

**Adopted March 24, 2008**  
**Old Town Clifton Mixed Use District and Design Standards**

**6.0 DESIGN STANDARDS:**

**6.1 Required Mix Of Uses**

- a. **Mix of Uses** In the Old Town Clifton Mixed Use District, a mix of uses, either within a single building or on a development site, shall be provided unless it can be demonstrated that adjacent properties provide or will provide a complimentary diversity of uses. The uses of adjacent properties can be established through one of the following: (1) existing uses, (2) approved site plan for development, or (3) approved Community Plan.
- b. **Residential** Residential uses are encouraged in a mixed use development, but are not permitted on the ground floor of mixed-use structures.

**6.2 Layout, Dimensions and Size Requirements**

- a. *The **design and orientation** of new buildings must be pedestrian oriented and special streetscape improvements are required to create rich, and enjoyable public and private spaces. (See Section 6.7, Building Siting, Section 6.10.1, Streetscape, and Section 7, Architectural Design Guidelines).*
- b. **Gross Floor Area** The gross floor area of commercial establishments, either within mixed-use buildings or as stand-alone structures, shall not exceed a total of 20,000 sq. ft. as approved on the site plan. Structures larger than 20,000 sq. ft. gross floor area may be approved as a Conditional Use Permit.
- c. **Floor to Floor Heights and Floor Area of Ground Floor Space**
  - 1. All commercial floor space provided on a ground floor of a mixed-use building must have a minimum floor-to-ceiling height of 11 feet.
  - 2. All commercial floor space provided on the ground floor of a mixed-use building must contain the following minimum floor area:
    - (a) At least 800 sq. ft. or 25% of the buildable lot area, whichever is greater, on lots with street frontage of less than 50 feet; or
    - (b) At least 20% of the buildable lot area on lots with 50 feet or more of street frontage.

**Adopted March 24, 2008**  
**Old Town Clifton Mixed Use District and Design Standards**

**d. Setbacks**

1. Front and Side Streets. Where possible, keeping with the visibility triangle standards for intersections (Section 7.20 of the Mesa County Land Development Code), the entire building facade shall abut front and side street property lines or be located within 15 feet of such property lines. Exceptions may be made for corner lots or non-residential structures where outdoor seating and / or gathering places are provided.
2. Rear. Where there is an alley, street, or public right of way behind the building, no rear setback is required. Where the MU-OTC district abuts a residential zone district, the rear setback shall be 10 feet.
3. Interior Side. No interior side setbacks are required in the MU-OTC District unless the interior side abuts a residential use or district. Where the OTC Mixed-Use District does abut a residential zone district, the interior setback shall be identical to that of the residential district and buffer standards in Chapter 7 of the Mesa County Land Development Code apply.

**e. Building Height** The maximum building height shall be 38 feet for mixed-use buildings and 35 feet for all other buildings.

**f. Minimum Lot Size** The minimum lot size shall be 2,500 square feet.



**Adopted March 24, 2008**  
**Old Town Clifton Mixed Use District and Design Standards**

**6.3 Parking and Circulation**

**a. Intent**

1. The parking access/circulation system shall provide for the safe, efficient, convenient and functional movement of multiple modes of transportation both on and off the site.
2. Minimize pedestrian/bicycle/vehicle conflicts.
3. Promote alternate modes of transportation, including public transit, bicycles and sidewalks/trails in the site design.
4. Use design elements that are visually interesting and consistent with other streetscape materials used in the overall development.

**b. Standards**

1. Locate additional site access points as far as possible from street intersections to minimize conflicts. More than one access to a site from a public street may be permitted when consistent with the Road Access Policy. The additional access will not be hazardous to the safety and operation of the street or pedestrians when it facilitates the integration of the commercial development into the community.
2. Locate site entries to minimize pedestrian/vehicular conflicts and design these entries with enhanced paving to differentiate them from sidewalks.
3. Provide separate vehicular and pedestrian circulation systems with a strong emphasis on pedestrian linkages between uses. In large commercial developments, separate parking aisles from primary vehicle circulation routes and entry drives whenever possible.
4. Avoid conflicts at connection points between adjacent parking lots by maintaining similar directions for travel and similar parking bay designs.
5. Drive-through facilities shall allow for a vehicle stacking distance identified in Section 7.1.8 of the Mesa County Land Development Code.
6. All walk-up ATM's, vending machines and similar uses shall be integrated into existing or planned buildings.
7. Drive-through windows, menu boards, equipment, and associated stacking lanes shall be located to minimize impacts on adjacent residential areas and shall be at least partially screened from public view and the view of adjacent sites.

**Adopted March 24, 2008**

**Old Town Clifton Mixed Use District and Design Standards**

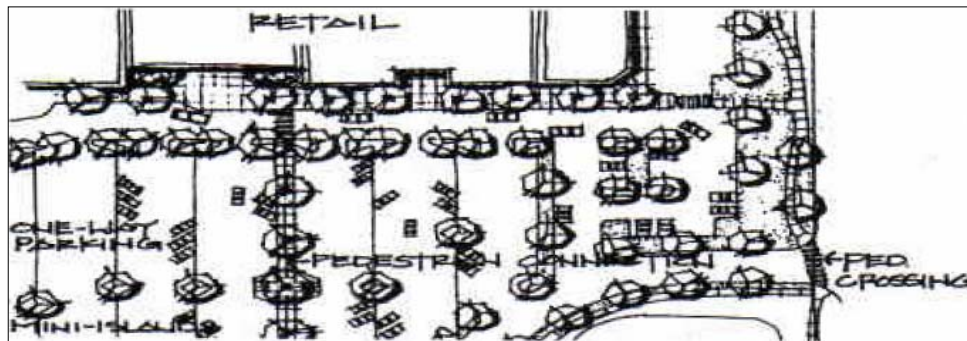
8. Minimum curb radii in accordance with the design and construction standards shall be applied where appropriate at public and private road intersections with pedestrian crossings to reduce pedestrian crossing distances and turning car speeds.
9. A maximum of twenty percent (20%) of a parking lots containing five (5) or more spaces may be designed for small cars (under 14' length).
10. One-way access ways (drives other than parking aisles) must be at least 12 feet wide (flow line to flow line) and have a minimum 25-foot radius intersection. One-way access ways being used as secondary areas shall be wider.
11. Provide full-size landscape islands (19 feet by 10 feet) at the ends of rows of parking stalls, and, at a minimum, at least one island within rows; the size and number of islands will vary with the size and design of the parking lot and will be reviewed at Site Plan submittal.
12. When the opportunity exists, provide common or shared entries and require cross easements for access and parking.
13. No off-street parking shall be required for nonresidential uses in the MU-OTC District unless such uses exceed 2,500 square feet of gross floor area, in which case off street parking must be provided for any floor area in excess of 2,500 square feet.
14. Off street parking shall be provided as described in Section 7.1 of the Mesa County Land Development Code, and must meet the standards for Alternative Parking Plans in section 7.1.9 of the Code, the **maximum number of street parking spaces** provided shall not exceed 10 percent of the minimum number of spaces allowed in Section 7.1 of the Code.
15. Campers, trailers, and commercial vehicles shall be parked and screened in the rear or side yards with appropriate landscape screening meeting the standards in Section 7.4 of the Mesa County Land Development Code.
16. On street parking within three hundred feet of the proposed use may be counted to meet the parking requirements for non-residential uses

**Adopted March 24, 2008**  
**Old Town Clifton Mixed Use District and Design Standards**

**6.3.1 Surface Parking Lots**

**a. Intent**

1. Vehicle parking shall be provided to meet the location and quantity requirements of specific uses without undermining the function of other modes of transportation or detracting from the creation of attractive pedestrian environments.
2. Locate parking near the retail/office in small pockets rather than one large parking lot where possible.



**TYPICAL PARKING AREA LAYOUT**

**b. Standards**

- a. Design parking lots to avoid dead-end aisles and, where feasible, provide connections to adjacent parking aisles, roads or lots; and, where dead-end situations are unavoidable, adequate space for unimpeded turnaround must be provided.
- b. Separate parking areas from buildings by either a raised concrete walkway or landscaped strip. Avoid situations where parking spaces directly abut structures.
- c. Where possible, orient parking aisles perpendicular to building entries so pedestrians walk parallel to moving cars, and minimize the need for pedestrians to cross parking aisles and landscape areas.
- d. Design parking areas in a manner that links buildings to the street sidewalk system as an extension of the pedestrian environment. Use design features such as walkways with enhanced paving, trellises, or special landscape treatments to achieve this objective.



**Adopted March 24, 2008**  
**Old Town Clifton Mixed Use District and Design Standards**

- e. Divide large parking areas into a series of smaller, connected lots by using landscape buffers and other means to reduce the visual impact of large parking areas.
- f. Provide cross-access easements between all adjacent lots and parcels in order to facilitate the flow of traffic.
- g. Use curbed landscaped islands to designate a change in direction of parking stalls and aisles.
- h. Where parking spaces abut landscaped islands, medians, or perimeter curbs or sidewalks, the length of parking spaces may be shortened by 1.5 feet to account for the car overhang, and the width of the sidewalk or landscape strip increased by that same amount.
- i. Provide full-size landscape islands (19 feet x10 feet) at ends of rows.
- j. While accommodating the required parking for any use, the size of a parking lot shall be minimized. Parking lots shall be broken up into smaller segments, or shaped to mitigate large, visually expansive paved areas
- k. Surface parking and vehicular drive lanes shall not occur between the property line located along the street and the building facade.

**3. Guidelines**

- a. When opportunities exist for shared parking between different uses with staggered peak parking demand, make every effort to take advantage of this opportunity to reduce the total number of parking spaces within the development, especially in multi-tenant and mixed-use commercial centers. Cross parking easements must be recorded. See section 7.1.9 of the Mesa County Land Development Code, Alternative Parking Plans.

**Adopted March 24, 2008**  
**Old Town Clifton Mixed Use District and Design Standards**

**6.3.2      *Parking Lot Landscape***

**a.      *Intent***

Parking areas are an integral part of the physical development of the Old Town Clifton Mixed Use Zone District (MU-OTC). They shall be well planned, integrated with the circulation system and landscaped to provide visual relief and shade to these paved areas.

**b.      *Mandatory Standards***

1.      Parking areas shall have landscaped areas containing street trees to provide shade and visual relief.
2.      Convenient, safe pedestrian pathways shall be incorporated into large parking areas to connect with retail centers, entryways and transit stops.
3.      Screen parking lots from public rights-of way and adjacent public areas with plants and berming.
4.      Coordinate the planting of parking areas with streetscape and berming of adjacent roads.
5.      Parking Lots shall have no more than 12 continuous parking spaces without a landscape island equal to a single parking space and landscape in accordance with these design guidelines



**Adopted March 24, 2008**  
**Old Town Clifton Mixed Use District and Design Standards**

**6.3.3 Bicycle Parking**

**a. Intent**

1. Bicycle parking shall be located convenient to building entrances, avoiding conflicts with vehicular and pedestrian circulation for residential uses, bicycle parking shall be provided at convenient locations to primary entrances and outdoor activity areas.

**b. Mandatory Standards**

Off-street bicycle parking shall be furnished with bike racks to encourage use of alternative transportation modes and be consistent with the Parking Standards in section 7.1 of the Mesa County Land Development Code.

**6.4 Service/Delivery, Emergency and Utility Access**

**a. Intent**

1. Convenient and appropriate routes for all required service emergency and utility access ways shall be easily discernible and clearly marked.
2. Vehicle circulation within the development shall be designed to provide safe and efficient turning movements for all anticipated service and emergency vehicles.
3. The design of individual parcels to accommodate truck access shall meet all regulatory requirements for turning radii without sacrificing other important objectives of these design criteria.

**b. Standards**

1. Meet all regulations in the design of emergency access to buildings.
2. Avoid the creation of "blind areas" that cannot be patrolled by police or security staff.
3. Where feasible, connect emergency routes between adjacent properties.
4. Provide shared service and delivery access ways between adjacent parcels and/or buildings where possible.

**Adopted March 24, 2008**  
**Old Town Clifton Mixed Use District and Design Standards**

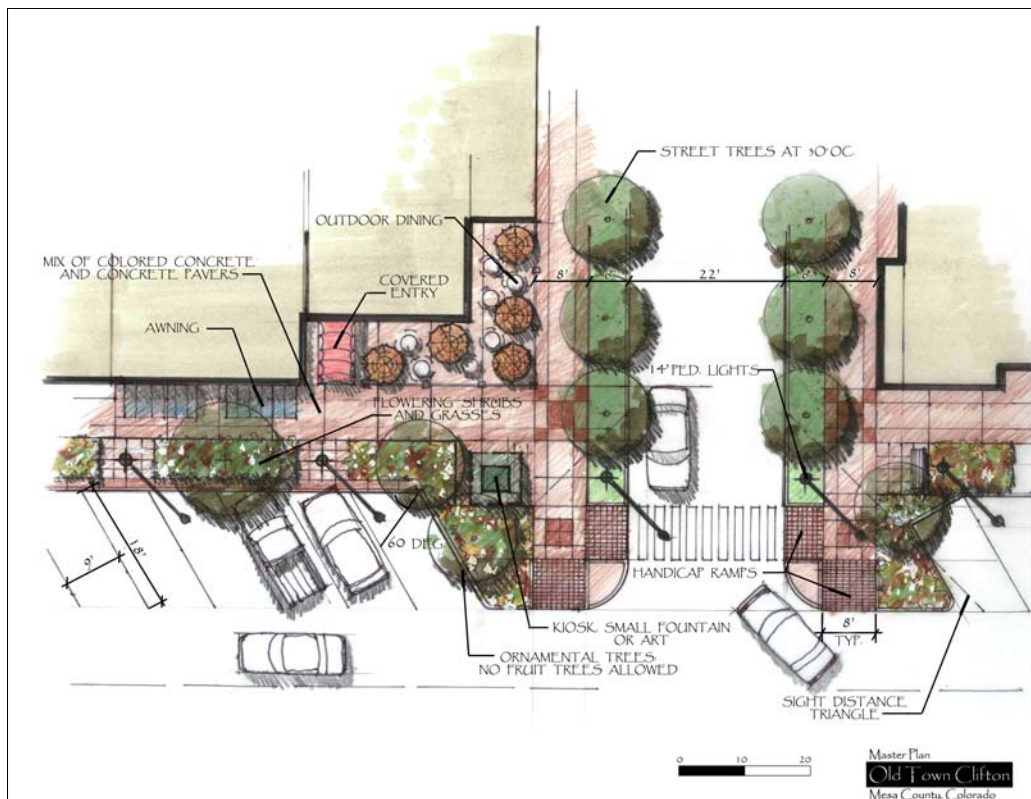
**6.5 Pedestrian Circulation**

**a. Intent**

Pedestrian walkways provide connections between buildings, land use areas and adjacent existing and new development, connecting residential, office and retail/commercial areas and transit stops.

**b. Mandatory Standards**

1. Five foot (5') minimum width detached sidewalks shall be provided along all sides of the lot which abut a public street.
2. Continuous pedestrian walkways shall be provided to connect the public sidewalk to the principal customer entrances and transit stops.
3. Sidewalks shall be provided along the full length of the building along any facade abutting streets and parking areas.
4. Pedestrian walkways shall be distinguished from driving surfaces through the use of durable landscape treatments and/or low-maintenance surface materials such as pavers, bricks, scored concrete, or similar materials.



**Adopted March 24, 2008**  
**Old Town Clifton Mixed Use District and Design Standards**

**b. Guidelines**

1. Sidewalks and pedestrian ways shall be scaled to the use and expectations of pedestrian volumes in any given location.
2. Sidewalks shall connect focal areas of pedestrian activity such as: transit stops, street crossings, building and store entrances and feature adjoining landscaped areas that include: trees, shrubs, lighting, signage, benches, flowerbeds, groundcovers or other similar amenities.

**6.6 Community Spaces and Special Features**

**a. Intent**

The following community and public spaces shall be considered in the development of amenity features such as patio/seating areas, pedestrian plaza with benches, window shopping walkway, outdoor playground area, kiosk area, water feature, clock tower, or other such focal features. These areas shall have direct access to the pedestrian circulation system and transit stops.

**b. Guidelines**

1. Buildings should offer attractive and inviting pedestrian-scale features, spaces, and amenities.
2. Entrances and parking lots should be configured to be functional and inviting with walkways conveniently tied to logical destinations.
3. Pedestrian-ways should be anchored by special design features such as: towers, arcades, porticos, pedestrian light fixtures, bollards, planter walls, and other architectural elements that define circulation ways and outdoor spaces. Examples of outdoor spaces are: plazas, patios, courtyards, and window shopping areas.
4. Amenities such as: outdoor playground areas, kiosk areas, water features and patio seating areas should be included where appropriate in the development scheme.

**Adopted March 24, 2008**  
**Old Town Clifton Mixed Use District and Design Standards**

**6.7 Building Siting and Orientation**

**a. Intent**

Building siting and orientation is a critical physical design element which must be considered at the outset of a project in the Old Town Clifton Mixed Use Zone District (MU-OTC) area.

**b. Mandatory Standards**

1. Primary building entries to those buildings along public or private streets shall front on the street or a courtyard/auto court.
2. Pedestrian paths shall connect buildings and adjacent land uses.

**c. Guidelines**

1. Passive solar design, such as locating pedestrian areas to take advantage of solar access (south facing) will result in reduced energy consumption by maximizing the sun's potential for heating and lighting indoor or outdoor spaces.
2. Buildings should be sited in such a way as to enhance relationships between buildings, promote pedestrian circulation and facilitate vehicular circulation. Ways of accomplishing this include clustering buildings to create pedestrian-oriented gathering places (plazas, for example) and positioning entries to buildings so they are easily identifiable from interior and exterior pedestrian circulation.

**6.8 Drainage & Water Quality**

**a. Intent**

Site drainage shall be designed to minimize water collection near building foundations, entrances and service ramps. In addition to the Mesa County Storm Water Drainage Design Standards, the following criteria shall be followed in all commercial developments.

**b. Mandatory Standards**

1. Storm water shall be directed to consolidated or regional detention facilities and shall not drain directly into the public storm drainage system without first going through a detention pond and/or a grassy swale.
2. Design and maintain all privately-owned grassed swales and other drainage facilities in accordance with approved practices.

**Adopted March 24, 2008**  
**Old Town Clifton Mixed Use District and Design Standards**

3. Avoid hard concrete-lined channel designs. If a hard channel design is required use a more natural approach that incorporates river rock or natural rock channel lining.
4. Grass swales are not allowed if the slope is less than 2%.
5. Provide positive drainage away from all buildings to detention ponds on site or to storm drainage facilities that have been sized to receive discharge to eliminate any pooling of water at building foundations, entrances, service ramps and pedestrian walkways, including those in parking lots.

**c. Guidelines**

1. The use of consolidated or regional detention pond facilities is encouraged where feasible and appropriate.
2. Best management practices including multiple use storm water detention ponds for parks, grassy swales, and constructed wetlands are encouraged.

**6.9 Site Preparation**

**a. Intent**

In all specific land development projects re-plant all disturbed soil and slopes with an approved grass mixture or groundcover. Prepare the soil prior to seeding.

**b. Mandatory Standards**

1. Site grading designs shall be executed in such a manner to avoid drainage impacts (such as erosion and road damage), both on-site and downstream.
  - a. Transition grades between old and new elevations shall be rolling rather than one continuous straight slope.
  - b. Avoid grade changes within the drip line of existing trees that are to be maintained.
  - c. Stockpile and protect topsoil during construction.
2. Erosion control is required by the State of Colorado and Mesa County during construction, as well as to mitigate permanent erosion hazards. Obtain all state and local permits, as required.

**Adopted March 24, 2008**  
**Old Town Clifton Mixed Use District and Design Standards**

3. Erosion control must be used to protect drainage structures, drainage ways, properties and improved streets adjacent to construction sites. Temporary erosion control measures for construction activities such as sediment traps, hay bales and *silt fences must be properly placed in accordance with a grading and erosion control plan reviewed by Mesa County prior to any earthmoving on site.*
  
4. *When soil is disturbed during construction, the owner is required to provide vegetative cover to hold the soil against the action of wind and water. Where such areas will not be permanently landscaped immediately, the owner, developer, or builder is required to seed with a drought-tolerant grass seed mix (such as a pasture-type blend) and water until establishment.*

**c. Guidelines**

1. For permanent landscapes in these conditions, grasses, shrubs and living ground covers are preferred over non-living ground covers.
  
2. When planting shrubs and groundcovers on steep slopes, a biodegradable erosion control matting (such as that manufactured by Excelsior), is to be used as slope protection during the plant establishment period (not less than 6 months).



**Adopted March 24, 2008**  
**Old Town Clifton Mixed Use District and Design Standards**

**6.10 Landscape Architectural Design**

**a. Intent**

The intent of these design guidelines is to provide a framework for landscape development within the Old Town Clifton Mixed Use Zone District (MU-OTC) in order to foster a compatible, water-conserving landscape statement which will be consistent throughout the development.

**b. Mandatory Standards**

1. Plantings along streets, at monument signs, and at other key locations will be designed using a plant palette and design approach as defined in these guidelines.
2. Each owner or occupant within the Old Town Clifton Mixed Use Zone District (MU-OTC) multi-use area shall be responsible for the construction, installation and maintenance of functional and aesthetically suitable landscaping in each development. Such landscaping shall be subject to the following requirements and shall be installed only after site plans, have been submitted to and approved by Mesa County. To the extent there is a conflict between other sections of the Land Development Code and these guidelines, the more restrictive document shall govern.

**6.10.1 Streetscape**

**a. Intent**

Streetscapes are a critical element in the development of the Old Town Clifton Mixed Use Zone District (MU-OTC). Generally, streetscapes shall include a variety of street trees, lawn trees, ornamental trees, shrubs and perennial plants.

**b. Mandatory Standards**

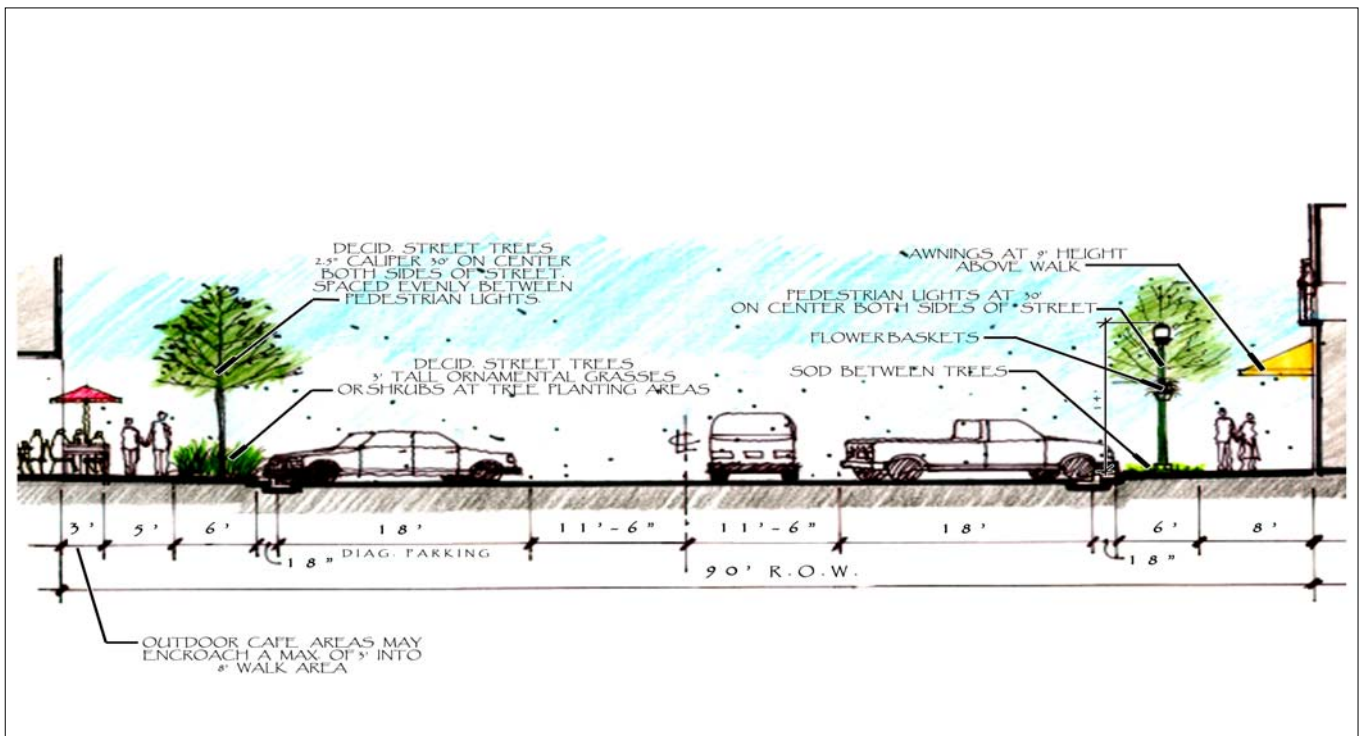
1. Streetscape requirements will be addressed in the preliminary and final site plan review as required in the Mesa County Land Development Code.
2. Streetscapes shall be planted with a variety of trees, shrubs and perennials, with a drought-resistant turf grass, such as Texas x Kentucky bluegrass hybrid, zoysiagrass, or buffalograss depending on the soil salt level. A bark mulch could be used in lieu of turf grass.

**Adopted March 24, 2008**  
**Old Town Clifton Mixed Use District and Design Standards**

3. Fruit bearing ornamental trees are not allowed due to the presence of fruit orchards that could be affected by disease/infections from the fruit bearing ornamental trees.
4. Drought-resistant turf grass shall be planted and all landscape areas shall be irrigated with smart water devices such as ET irrigation controllers, matched precipitation rate nozzles and drip irrigation..
5. Streetscape plantings must be irrigated.
6. **Non-interference with Traffic.** In no event shall landscaping create a hazardous condition by blocking drivers' view of oncoming traffic. See the Visibility Triangle Standards in Section 7.20 of the Mesa County Land Development Code.

**c. Standards**

1. *Sidewalks shall be detached wherever possible to create tree lawns along streets.*



**Adopted March 24, 2008**  
**Old Town Clifton Mixed Use District and Design Standards**

**6.10.2 Building Site Landscape**

**a. Intent**

Site development of building sites shall be considered in landscape design to provide overall continuity to the Old Town Clifton Mixed Use Zone District (MU-OTC). Landscape treatments of the building site, parking lots and streetscape are critical elements of the site development



**b. Mandatory Standards**

1. The property owner or occupant is responsible for installing and maintaining the landscape adjacent to the street starting at the back of the street curb.
2. Landscaped islands are required in large parking lots. Subject to the review and approval of the County at the time of the site development plan, individual islands may be aggregated into bigger islands with the overall intent of softening the effect of large paved parking areas. Landscaping may include pedestrian walkways connecting bays of parking to each other or to the building.
3. Annual and/or perennial beds at site and building entries and other strategic points shall be provided for seasonal interest.
4. A Colorado licensed landscape architect shall prepare all landscaping plans. A Certified Landscape Technician shall oversee the installation of the landscape.

**Adopted March 24, 2008**  
**Old Town Clifton Mixed Use District and Design Standards**

**6.10.3 Expansion Areas Within Developed Lots**

**a. Intent**

It is important to provide landscape maintenance of lands which are not immediately part of development. These open lands shall be kept presentable in the overall image of the Old Town Clifton Mixed Use Zone District (MU-OTC) area as it develops in time.

**b. Mandatory Standards**

Areas within developed lots reserved for future expansion shall be maintained in a mowed and neat condition. Parts of any site disturbed during construction shall be reseeded with a turf grass species and irrigated until grass coverage is established.

**6.10.4 Irrigation**

**a. Intent**

It is the intent the of Old Town Clifton Mixed Use Zone District (MU-OTC) to provide an attractive landscape development which creates a pleasing and enjoyable environment for conducting business and as a pleasant place to work and live. However, in recognition of Colorado's dry climate, where possible, conserve water by using plants with low to moderate water requirements. Use efficient irrigation systems zoned so that similar exposures and plants are grouped together and avoid over spraying walks, drives and buildings.

**b. Mandatory Standards**

1. All landscaped areas, including islands in parking lots, are to be automatically irrigated by an underground system providing one hundred percent (100%) irrigation coverage. The entire irrigation system must be designed and constructed in accordance with all local building code requirements.
2. "Generally, matched precipitation rate spray heads are ...are acceptable for turf grass and drip irrigation for shrub beds on private property. For landscape areas to be maintained by the County, use County standards for irrigation design and equipment.

**Adopted March 24, 2008**  
**Old Town Clifton Mixed Use District and Design Standards**

3. In general, the total amount of water consumed for landscape irrigation shall not exceed the amount applied to 20 percent of the net site area at the rate of 30 inches per year (815,000 gallons per acre per year). Ways to accomplish this include using a sod blend other than Kentucky Bluegrass (such as a Texas x Kentucky bluegrass hybrid, zoysiagrass, or buffalograss depending on the soil salt level. A bark mulch could be used in lieu of turfgrass.) and designating areas of the site which are to be in a low-maintenance and water-conserving blend.
4. Permanent irrigation systems shall be installed on all common areas including medians, parkways, slopes and recreation areas that are maintained by the owners association or other appropriate entity. Emphasis shall be placed on the use of the use of low precipitation head nozzles, especially in slope areas to allow maximum water efficiency under existing heavy soil conditions. Check valve heads shall be used to prevent low-head drainage were necessary. Separate controllers and/or separate control valves shall control areas of separate maintenance responsibility. Clocks shall be programmed for the most efficient time and frequency or watering each area.
5. Approved backflow prevention devices shall be installed to service any and all sprinkler irrigation systems. Backflow prevention shall be as the County code requires. Pressure reducers shall be installed with backflow devices in cases of extreme water pressure. To minimize negative visual impacts, all automatic valves shall be installed in valve boxes and the pop-up variety of head used whenever application allows. Workmanship and materials shall conform to existing County codes.
6. All irrigation designs shall be reviewed by Mesa County prior to installation. For irrigation systems in common areas to be transferred to the owners association, as-built drawings shall be submitted to Mesa County and the owners association after all sprinkler system installation.

**6.10.5 Plant Material Selection**

**a. Intent**

The recommended plant list included in these standards provides for a variety of plant materials to be used in the landscape -- deciduous trees and shrubs, evergreen trees and shrubs, groundcovers, perennials and annuals, of various sizes. Plants and other landscape elements shall be permanent in nature.

**Adopted March 24, 2008**  
**Old Town Clifton Mixed Use District and Design Standards**

***b. Mandatory Standards***

1. When choosing plants, consider their location and mature size, as well as their growth habit and other characteristics.
2. All landscaping adjacent to streets and in building or parking setbacks shall be turf grass or a bark mulch combined with tree, shrub and groundcover/ perennial/annual plantings. Trees and shrubs are healthier when mulched with bark than when their roots are in competition with turf. The lawn shall be established by sodding where turf type allows with a high quality sod blend. Establishing turf grass by seeding is allowed only for turf types that are not typically successful as sod and on areas reserved for future expansion. Turf grass establishment in the buffer area will be determined at Site Development Plan review.
3. Plant material shall be uniform in shape, in good healthy condition and well adapted to the Mesa County area climate zone. No species with invasive roots, such as cottonwoods or willows, shall be used. For additional plant quality requirements see below.
4. All plant material shall meet the minimum size and height requirements set forth in the County landscape requirements and guidelines with the exception of deciduous shade trees that will be a minimum of two and one-half inch caliper. Ground cover sizes and types shall be selected according to growth rate, spacing and amount of area to be covered.
5. Within one year of planting, street trees will have a minimum branching height of 8 feet from the ground base plane of the tree.
6. Fruiting trees shall not be planted.
7. All landscape construction drawings shall be submitted to the County for review and approval prior to construction.
8. Landscape in areas to be maintained by or deeded to the County shall be established according to County standards and specifications.

**Adopted March 24, 2008**  
**Old Town Clifton Mixed Use District and Design Standards**

**c. Guidelines**

1. Street trees should be spaced at a minimum of 30 feet.
2. Clustering of street trees is encouraged in some situations. The number of street trees provided will be equivalent to the number of street trees spaced at 36 feet.
3. Short lived materials such as annual flowers should be used to accent basic permanent landscape plan.
4. Where short-lived trees and shrubs are used for their faster rates of growth, these species should be combined with slower growing, longer-lived material.

**6.10.6 Recommended Plant List**

**a. Intent**

This list of plant material is recommended for planting within and along the public rights-of-way, parks and quasi-public facilities such as parking lots.

**b. Guidelines**

1. *Deciduous Shade Trees*

<i>Acer platanoides</i>	<i>Norway Maple</i>
<i>Acer platanoides "Emerald Queen"</i>	<i>Emerald Queen Maple</i>
<i>Acer platanoides "Columnare"</i>	<i>Columnar Norway Maple</i>
<i>Acer platanoides "Schwedleri"</i>	<i>Schwedler Maple</i>
<i>Acer platanoides "Crimson King"</i>	<i>Crimson King Maple</i>
<i>Acer saccharinum "Green Mountain Sugar"</i>	<i>Green Mountain Sugar Maple</i>
<i>Aesculus hippocastenum</i>	<i>Horsechestnut</i>
<i>Aesculus glabra</i>	<i>Ohio Buckeye</i>
<i>Gleditsia triacanthos inermis "Shademaster"</i>	<i>Shademaster Honeylocust</i>
<i>Gleditsia triacanthos inermis "Sunburst"</i>	<i>Sunburst Honeylocust</i>
<i>Gleditsia triacanthos inermis "Skyline"</i>	<i>Skyline Honeylocust</i>
<i>Gleditsia triacanthos inermis "Imperial"</i>	<i>Imperial Honeylocust</i>
<i>Gymnocladus dioica</i>	<i>Kentucky Coffeetree</i>
<i>Quercus rubra "Borealis"</i>	<i>Northern Red Oak</i>
<i>Quercus macrocarpa</i>	<i>Bur Oak</i>
<i>Tilia americana</i>	<i>American Linden</i>
<i>Tilia americana "Redmond"</i>	<i>Redmond Linden</i>
<i>Tilia cordata "Greenspire"</i>	<i>Greenspire Linden</i>
<i>Tilia cordata "Little Leaf"</i>	<i>Little Leaf Linden</i>

**Adopted March 24, 2008**  
**Old Town Clifton Mixed Use District and Design Standards**

2. Ornamental/Accent Trees

*Acer tartaricum*

Fruitless Ornamental Trees

*Populus tremuloides*

*Quercus "Gambelli"*

*Tartarian Maple*

*Quaking Aspen*

*Gambel Oak*

3. Evergreen Trees

*Abies concolor*

*Picea pungens 'Glauca'*

*Pinus cembroides var. edulis*

*Pinus nigra*

*Pinus ponderosa*

*White Fir*

*Colorado Blue Spruce*

*Pinyon Pine*

*Australian Pine*

*Ponderosa Pine*

4. Deciduous Shrubs

*Amelanchier alnifolia*

*Arnelanchier alnifolia "Regent"*

*Arnorpha canescens*

*Aronia melanocarpa*

*Buddelia davidii*

*Caryopteris x clandonensis*

*Chaenomeles "Super Red"*

*Chaenomeles "Texas Scarlet"*

*Chrysothamnus nauseosus*

*Cornus sericea 'Coloradensis'*

*Cornus sericea 'Isanti'*

*Cornus sericea 'Flavirameai'*

*Cotoneaster dammerii "Coral Beauty"*

*Cotoneaster dammerii "Lowfast"*

*Cotoneaster acutifolia*

*Cotoneaster apiculata*

*Euonymus alata*

*Euonymus alata compacta*

*Euonymus fortunei "Emerald Gaiety"*

*Forsythia intermedia*

*Forsythia viridis "Bronxensis"*

*Ligustrun vulgaris "Lowdense"*

*Lonicera xylostewn "Emerald Mound"*

*Philadelphus coronarea*

*Potentilla fruticosa -Gold Drop"*

*Potentilla fruticosa "Goldfinger"*

*Potentilla fruticosa "Katherine Dyke"*

*Potentilla fruticosa "McKay's White"*

*Physocarpus opulifolius "Luteus"*

*Phvsocarpus opulifolius "Nanum"*

*Saskatoon Serviceberry*

*Regent Serviceberry*

*Leadplant*

*Chokeberry*

*Butterfly Bush*

*Blue Mist Spirea*

*Red Quince*

*Texas Scarlet Quince*

*Rabbitbrush*

*Red Twig Dogwood*

*Isanti Dogwood*

*Yellowtwig Dogwood*

*Coral Beauty Cotoneaster*

*Lowfast Cotoneaster*

*Peking Cotoneaster*

*Cranberry Cotoneaster*

*Burning Bush*

*Dwarf Burning Bush*

*Emerald Gaiety Euonymus*

*Forsythia*

*Dwarf Forsythia*

*Lowdense Privet*

*Emerald Mound Honeysuckle*

*Mockorange*

*Gold Drop Potentilla*

*Goldfinger Potentilla*

*Katherine Dyke Potentilla*

*McKay's White Potentilla*

*Golden Ninebark*

*Dwarf Ninebark*



**Adopted March 24, 2008**  
**Old Town Clifton Mixed Use District and Design Standards**

<i>Prunus x cistena</i>	<i>Cistena Plum</i>
<i>Prunus glandulosa rosea</i>	<i>Pink Flowering Almond</i>
<i>Prunus tomentosa</i>	<i>Nanking Cherry</i>
<i>Prunus besseyi</i>	<i>Western Sandcherry</i>
<i>Rhus glabra</i>	<i>Smooth Sumac</i>
<i>Ribes alpinum</i>	<i>Alpine Currant</i>
<i>Ribes aureum</i>	<i>Yellow Flowering Currant</i>
<i>Rosa x "Red Meidland"</i>	<i>Single Red Shrub Rose</i>
<i>Spiraea nipponica "Snowmound"</i>	<i>Snowmound Spirea</i>
<i>Spiraea bumalda "Anthony Waterer"</i>	<i>Anthony Waterer Spirea</i>
<i>Spiraea bumalda "Goldflame"</i>	<i>Goldflame Spirea</i>
<i>Spiraea "Goldmound"</i>	<i>Goldmound Spirea</i>
<i>Spiraea bumalda "Gumball"</i>	<i>Gumball Spirea</i>
<i>Spiraea japonica "Little Princess"</i>	<i>Little Princess Spirea</i>
<i>Symphoricarpos chenaultii "Hancock"</i>	<i>Hancock Coralberry</i>
<i>Symphoricarpos orbiculatus</i>	<i>Red Coralberry</i>
<i>Symphoricarpos occidentalis</i>	<i>Western Snowberry</i>
<i>Syringa chinensis</i>	<i>Chinese Lilac</i>
<i>Syringa patula "Miss Kim"</i>	<i>Miss Kim Lilac</i>
<i>Syringa vulgaris</i>	<i>Common Purple Lilac</i>
<i>Viburnum burkwoodii</i>	<i>Burkwood Viburnum</i>
<i>Viburnum dentatum</i>	<i>Arrowood Viburnum</i>

5. *Evergreen Shrubs*

<i>Juniperus chinensis "Sea Green"</i>	<i>Sea Green Juniper</i>
<i>Juniperus chinensis "Old Gold"</i>	<i>Old Gold Juniper</i>
<i>Juniperus horizontalis "Bar Harbor"</i>	<i>Bar Harbor Juniper</i>
<i>Juniperus horizontalis "Blue Chip"</i>	<i>Blue Chip Juniper</i>
<i>Juniperus horizontalis "Hughes"</i>	<i>Hughes Juniper</i>
<i>Juniperus horizontalis "Wilton"</i>	<i>Wilton Carpet Juniper</i>
<i>Juniperus sabina "Broadmoor"</i>	<i>Broadmoor Juniper</i>
<i>Juniperus sabina "Scandia"</i>	<i>Scandia Juniper</i>
<i>Juniperus scopularum "Table Top Blue"</i>	<i>Table Top Blue Juniper</i>
<i>Juniperus scopularum "Wichita Blue"</i>	<i>Wichita Blue Juniper</i>
<i>Juniperus tamariscifolia</i>	<i>Tammy Juniper</i>
<i>Juniperus tamariscifolia "Buffalo"</i>	<i>Buffalo Juniper</i>
<i>Pinus mugo mugo</i>	<i>Mugo Pine</i>

6. *Seeding* - Drill seeding is the only acceptable method of seeding. Seed areas must be irrigated on a temporary basis until establishment, whether from a temporary irrigation system or by water truck.

7. **Sod - Except where seeding is permitted** or when using turf types that are not typically successful as sod, **all turf within Old Town Clifton Mixed Use Zone District (MU-OTC) area shall be installed as sod.**

**Adopted March 24, 2008**  
**Old Town Clifton Mixed Use District and Design Standards**

**6.10.7 Soil Amendments and Mulches**

**a. *Mandatory Standards***

Soil Amendments - Before installing site landscape and irrigation, amend the soil as determined with current landscape installation practices. Where the soil is compacted from heavy equipment, and in equipment and materials storage areas, rip the soil before applying soil amendments. Prior to amending soil, a soils test is required. Soil tests shall be conducted to determine electrical conductivity (EC), nitrogen, phosphorus, potassium, pH and organic content. The proper amendments shall be used to ensure healthy plant growth and drainage..

**b. *Guidelines***

Mulches - Mulches are generally advisable to insulate the soil and help control weeds. Mulches are required to be one of the following, installed in a 3-inch layer (minimum) over weed control fabric.

- \* Wood Mulch -- Shredded Western Red Cedar
- \* Rock Mulch – should be 3" – 9" diameter smooth river rock
- \* Rock mulch is allowed only in areas where there are no plants, such as building buffer areas, which may not be planted due to soil expansion conditions.
- \* In all other cases, rock mulch will be restricted to individual mulch beds of not more than 500 square feet.

**6.10.8 Time of Installation**

**a. *Mandatory Standards***

1. Approved landscaping shall be installed prior to the issuance of a Certificate of Occupancy for a building.
2. When building completion occurs during a time of the year when landscape installation is questionable (generally between November 1 and April 1), the owner will be required to establish erosion control seeding or suitable ground cover at completion of building and site construction and install site landscape within 6 weeks after the start of the planting season. If an owner fails to undertake and complete the approved landscaping within the 6 week period, the County may after giving the owner 10 day's written notice and 30 days to perform or cause to be performed any and all landscaping in accordance with the approved landscape plan.

**Adopted March 24, 2008**  
**Old Town Clifton Mixed Use District and Design Standards**

3. The contractor will provide financial assurance for the completion of all work.

**6.10.9 Maintenance**

**a. Intent**

The owner or occupant of a building site shall be responsible for: maintaining the landscape development within the property; replacing all dead plants (unless seasonal); and repairing damage to the landscaping.

**b. Mandatory Standards**

If an owner fails to maintain the plantings and lawn or to undertake and complete the replacement or repair, the County may, after giving the owner 10 day's written notice, perform such or cause maintenance, replacement or repair to be performed and submit all costs and expenses therefore to the owner for prompt payment. If the owner fails to promptly reimburse the County for the landscape maintenance or repair within 30 days after rendition of a bill, the County may collect all such costs and expenses through any appropriate proceeding at law or in equity or may file against the building site a real property lien in an adequate amount to cover all costs and expenses, including legal fees, incurred by the city in connection with maintenance, replacement and repair of the landscaping.

**6.11 Site Furniture and Amenities**

**a. Intent**

Visual continuity within the Old Town Clifton Mixed Use Zone District (MU-OTC) area and the specific segments of development is most important. Site furniture and other amenities significantly contribute to the overall image of any development in the plan area. These elements might include benches, waste receptacles, planters, railings, bollards, bike racks, and tree grates in plazas.



***Typical Metal Bench***

**Adopted March 24, 2008**  
**Old Town Clifton Mixed Use District and Design Standards**

**b. *Mandatory Standards***

1. Metal benches shall be provided near drop off areas and entryways to major buildings.
2. Benches shall be provided at key locations along pedestrian ways, at transit stops and plazas.
3. Benches shall be located to provide shelter from summer sun and winds and be open to direct sunlight in the winter.
4. Planters shall be provided in plazas areas, building entry areas, and other paved open areas to give scale to the pedestrian ways.
5. Waste receptacles shall be provided at building entry ways, public plazas and transit stops.
6. Bike racks shall be provided at public plaza spaces and major building entry ways.
7. Tree grates shall be provided in paved plazas and pedestrian ways to protect the tree's roots from compaction. In addition, the tree grates provide special visual interest to the pedestrian space and they prevent the tree well from being a safety hazard.
8. Bus shelters will be provided at all transit stops within the Old Town Clifton Mixed Use Zone District (MU-OTC) area.

**6.12 Fencing and Screen Walls**

**a. *Intent***

Where privacy or service areas are required the design approach shall, where possible, provide walls and / or fences as extensions of the architecture.



***TYPICAL STONE WALLS***

**Adopted March 24, 2008**  
**Old Town Clifton Mixed Use District and Design Standards**

**b. Mandatory Standards**

1. Solid walls and fencing shall not exceed six feet in height. Greater heights may be allowed in site-specific cases.
2. Solid walls and solid fencing are not permitted adjacent to private or public open space without a landscape buffer.
3. Open fencing is permitted for enclosure of special elements including swimming pools, outdoor recreation sites, accent features and full enclosure of a project for security purposes.
4. All solid walls and fences shall be reviewed and approved by the County. Submittal shall include the height, location, color and design of the wall or fence.

**c. Guidelines**

1. Wherever possible, walls and fences should parallel site contours to blend with the terrain.
2. Walls and fences which are perpendicular to the land gradient should be stepped and should not drop more than 12" between panels

**6.13 Lighting**

- a. Lighting is an integral component of the Design Guidelines. Careful lighting design is an effective tool for the creation of cohesive environments, for creating an image of sense of place and pedestrian & vehicle safety. In general terms, lighting must be scaled to use and designed to be appropriate for varied applications.

**6.13.1 Parking Area Lighting**

**a. Intent**

To light parking areas in a consistent, attractive and unobtrusive manner that minimizes off-site impacts.

**Adopted March 24, 2008**  
**Old Town Clifton Mixed Use District and Design Standards**

***b. Mandatory Standards***

1. Parking and interior drives shall be lighted to provide a functional, attractive, and unified lighting system throughout the lot.
2. Fixtures shall be flush lens design to minimize spill light and glare onto adjacent properties. Parking area lighting adjacent to residential development shall direct the light away from residential units and limit off-site light levels.
3. The maximum height of parking lot light fixtures shall be 24 feet when the fixture is within 75 feet of the MU-OTC zone lot line.
4. Parking area lighting shall be turned off one hour after the close of business, except as needed to provide for minimum-security levels.
5. Light sources shall be metal halide.
6. At no point shall lighting levels in parking and service areas, including service stations exceed 8-foot candles when measured at the ground.

***c. Guidelines***

1. Parking area lighting should complement the lighting of adjacent streets and properties and should use consistent fixtures, source colors and illumination levels. When adjacent to pedestrian circulation and gathering areas, parking area lighting should not overpower the quality of pedestrian area lighting.
2. Poles should be placed to provide a unified, organized appearance throughout the parking area or development and should provide even and uniform light distribution. The use of a greater number of low fixtures in a well-organized pattern is preferred over the use of a minimum number of tall fixtures.

**6.13.2 Accent and Security Lighting**

***a. Intent***

To light building architecture and site areas so as to accentuate design features and promote security in an attractive and understated manner that minimizes off-site impacts.

**Adopted March 24, 2008**  
**Old Town Clifton Mixed Use District and Design Standards**

**b. Mandatory Standards**

1. Architectural accent lighting shall be limited to indirect lighting of architectural features only. No bare bulb or exposed neon lighting shall be used to accentuate building forms or details. Colored accent lighting is not permitted. Holiday lighting displays are exempted from restrictions on bare bulbs and colored accents.
2. Accent fixtures providing direct illumination shall be in character with the architectural and landscape design character of the development.
3. Service area lighting shall be confined within the service yard boundaries and enclosure walls. No spill-over light shall occur outside the service or storage area. The lighting source shall not be visible from the street. Lights at service or exit doors shall be limited to low wattage downcast or low cut-off fixtures that may remain on throughout the night.

**c. Guidelines**

1. Building lighting should only be used to highlight specific architectural features. Lighting of architectural features should be designed with the intent of providing accent and interest or to help identify entry and not to exhibit or advertise buildings or their lots.
2. Accent lighting of landscape should be low level and background in appearance.
3. Outdoor storage areas including auto and truck parking and storage should be illuminated from poles similar to those used for parking lot lighting, but at lower illumination levels.
4. Security lighting should be limited to low intensity specialty fixtures. The light source should not be visible from the street or adjoining properties. Other wall mounted security lighting is discouraged.

**6.13.3 Street Lighting- Public Right-Of-Way**

**a. Intent**

**Adopted March 24, 2008**  
**Old Town Clifton Mixed Use District and Design Standards**

To provide lighting that provides for safety and consistent appearance throughout the Old Town Clifton Mixed Use Zone District (MU-OTC).

**b. Mandatory Standards**

1. The spacing, location, height, fixture style, light source and level of illumination shall be subject to the review of the Colorado Department of Transportation along Hwy 6.
2. All light fixtures shall be of a uniform design throughout the district.

**c. Guidelines**

Placement of fixtures should provide a coordinated and organized appearance that works with placement of street trees, curb cuts, signage and other features to contribute to the overall continuity of the streetscape.





**Adopted March 24, 2008**  
**Old Town Clifton Mixed Use District and Design Standards**

**6.13.4 Pedestrian Lighting - Public Right-Of-Way**

**a. Intent**

To provide consistent systems of pedestrian lighting that add to the character, aesthetic appeal and safety of the Old Town Clifton Mixed Use Zone District (MU-OTC) and thereby promote greater pedestrian activity.

**b. Mandatory Standards**

1. Pedestrian lighting shall use consistent fixtures, source colors and illumination levels.
2. To prevent glare and light pollution, light fixtures shall be downcast or low cut-off fixtures.

**c. Guidelines**

1. When pedestrian lighting is used in conjunction with street lighting, the pedestrian lighting should be clearly distinguishable from the ambient street lighting to clearly define the pedestrian path of travel.
2. Light sources should generally be metal halide, however, low wattage high-pressure sodium may be desirable in some residential settings where glare may be an issue.
3. Lighting should be designed to provide even and uniform light distribution without hot spots, dark spots or glare. Lighting should be designed to minimize dark areas that could pose a security concern near pedestrian areas. Pedestrian circulation systems should be highlighted by visible light sources that clearly indicate the path of travel ahead.
4. Placement of fixtures should provide a coordinated and organized appearance that facilitates uniform light levels and works with the placement of sidewalks, landscaping, signage, building entries and other features to contribute to the overall continuity of the streetscape and development. The use of a greater number of low fixtures in a well-organized pattern is preferred over the use of a minimum number of tall fixtures.

**Adopted March 24, 2008**  
**Old Town Clifton Mixed Use District and Design Standards**

**6.14 Open Space / Entryways / Landscaping**

- a.** All open space, pedestrian walks shall function as continuous access ways and maintain connectivity through out the OTC Mixed-Use District.
- b.** Open Space Requirements: 20 (%) percent of Gross acreage, or payment in lieu of. Water Quality Basins and Detention Areas may be counted as open space provided the applicant proves they are usable open space, provide aesthetically pleasing spaces or meet or exceed landscape requirements.

**Adopted March 24, 2008**  
**Old Town Clifton Mixed Use District and Design Standards**

**7.0 ARCHITECTURAL DESIGN GUIDELINES**



**Intent**

The ARCHITECTURAL DESIGN GUIDELINES are to be applied to any commercial development in the Old town Clifton Community.



**7.1 Major New Commercial Development / Redevelopment**

**a. Definition**

1. Major New Development/Redevelopment project shall be a building or set of buildings in excess of 20,000 square feet in gross floor area.

**Adopted March 24, 2008**  
**Old Town Clifton Mixed Use District and Design Standards**

**b. Site Planning**

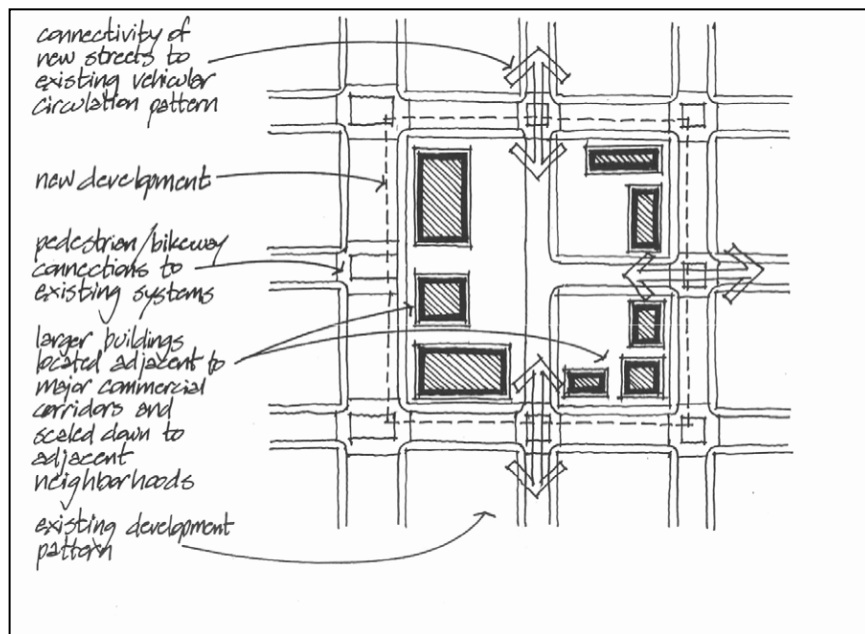
1. Promote the connection of new developments to adjacent neighborhoods by biking, walking and driving.
2. The edges of new and existing commercial development shall provide a safe, quiet and visually pleasant transition to adjacent residential neighborhoods.

**c. Connect to Existing Neighborhoods**

1. Streets, bikeways, paths and trails shall connect to existing adjacent neighborhoods. Traffic calming measures shall be used to discourage short cuts and a high volume of traffic through the development.

**d. Transition of Land Uses and Intensity**

1. Larger buildings shall be located adjacent to commercial corridors and transition to smaller buildings closer to residential, lower density neighborhoods. Landscape and architectural treatments such as screen walls shall be used as edge buffers.



**Adopted March 24, 2008**  
**Old Town Clifton Mixed Use District and Design Standards**

**e. *Connect to Buildings within the Development***

Wherever possible, pedestrian and bicycle connections between buildings are desirable to promote a walkable and bicycling environment.

**f. *Building Orientation***

Pedestrian entries into buildings shall face a street whenever possible. All facades of buildings facing any street or open space shall provide a level of finished architectural quality appropriate to the public character of that street or space. All elevations of a building shall be considered.

**g. *Drive Widths***

Drives connecting private property to the public street shall be designed to provide the minimum width necessary to accommodate anticipated traffic, turning movements and safety.

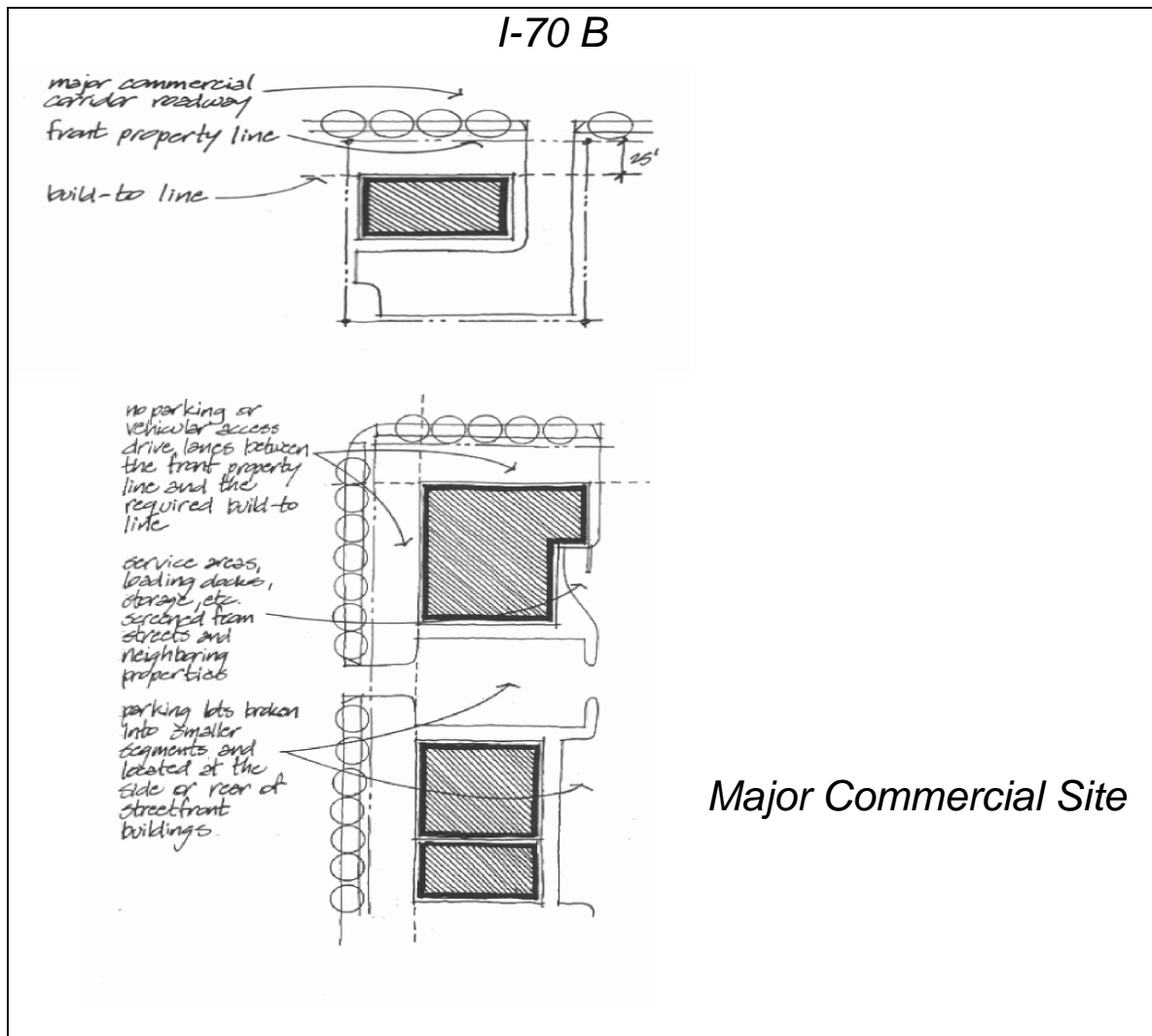
**h. *Pedestrian Walkways***

A pedestrian sidewalk at least five (5) feet wide shall be provided from the primary building entrance to the street and to the parking areas.

Adopted March 24, 2008  
Old Town Clifton Mixed Use District and Design Standards

*i. Build-to-Lines in Mixed-Use Zones*

1. In the OTC mixed-use district, locate buildings closer to the street in order to focus pedestrian activity and buildings onto the street rather than pavement, parking lots and automobiles.
2. **Along the I-70 Business Loop**, the build-to-line for the street front shall be twenty-five (25) feet from the property line for major commercial development.
3. Major commercial development in any other area of the OTC Mixed-Use district shall have a build-to-line of fifteen (15) feet from the property line(s) facing the street. There shall be no automobile activity in this build-to area. The surface treatment shall be paving (other than asphalt) or landscaping within this build-to area.



**Adopted March 24, 2008**  
**Old Town Clifton Mixed Use District and Design Standards**

***I. Service Areas***

Views of surface areas, including loading docks, refuse storage, utility and mechanical/electrical equipment areas shall be screened from streets and neighboring properties. Where practical, these areas shall be located to the rear or side of buildings.

**7.2 Building Character and Theme**

***a. Intent***

1. Create buildings and renovate existing buildings that respect the neighborhood context and architecture style.
2. Provide creative solutions that provide contemporary interpretations of traditional architectural and cultural forms and concepts.

***b. Respect for the Surrounding Context***

The character of major new developments should take cues from and use as design resources the surrounding neighborhood, street patterns, and neighboring structures.

***c. Interrelate Adjacent Buildings***

Buildings that together form a larger place shall relate to each other in ways such as aligning rooflines, windows, and use of similar materials, colors or architectural details.

***d. Standardize Architectural Character***

Buildings that express a standardized corporate identity shall also incorporate architectural forms, materials, colors and elements that relate to the architectural character of the overall project or other commercial structures in the vicinity.

***e. Building Form and Bulk***

Create buildings that provide human scale, interest and variation in the overall form.

**Adopted March 24, 2008**  
**Old Town Clifton Mixed Use District and Design Standards**

**7.3 Vertical or Horizontal Plane**

**a. Intent**

1. Buildings shall have at least one larger scale variation (a minimum of two feet) in the face of the building that fronts a street. Such a change may be accomplished by protruding bays, recessed entries, upper level step-backs, or offsets in the general plane of the façade.
2. Changes in a facade's plane may also be made by permanent elements attached to a facade, including but not limited to pilasters, bay windows, vestibules, porches, balconies, exterior shading devices, non-retractable canopies or awnings, projecting cornices or eaves.



**b. Roof Design**

1. The design of the roof form, and other related elements such as roof material, color, trim and lighting should be an integral and balanced part of the architecture.
2. For larger buildings, simple, flat roof or parapet profiles are preferred as the predominant roof form. Parapet profiles should serve to break up the bulk of long expanses of linear facades.
3. For smaller structures, especially adjacent to a residential neighborhood, sloping roof shapes, related to the residential character may be more appropriate.



**Adopted March 24, 2008**  
**Old Town Clifton Mixed Use District and Design Standards**

**c. Rooftop Mechanical Equipment**

1. Rooftop mechanical equipment shall be completely screened from ground level views, or located within enclosures.
2. Screening elements and/or enclosures should be composed of forms, materials and colors that are either an extension of the building's exterior form, material and color palette; or neutral forms, materials and colors designed to minimize their visual impact.

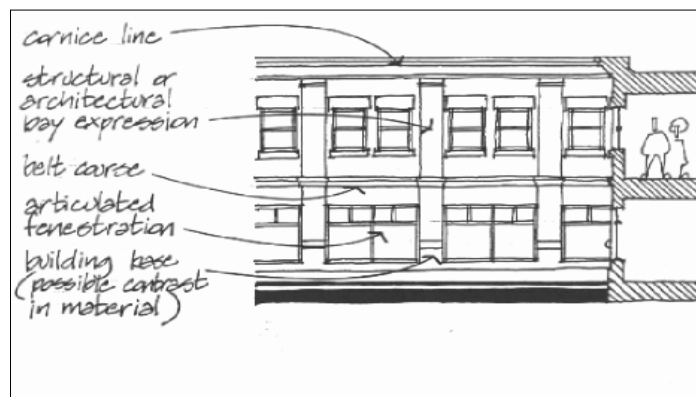
**7.4 Building Facade Treatment**

**a. Intent**

1. Provide elements that provide a human scale to the facades.
2. Create texture and relief in the façade.
3. Design building facades, which adjoin streets in ways that enhances the appearance of those streets.

**b. Facade articulation, fenestration, detail and scale.**

Human scale and detail should be incorporated into façade design by the use of at least three such methods as reveals, belt courses, cornices, expression of a structural or architectural bay, recessed windows and/or storefronts, changes in plane, material or material module change, color and/or texture differences, or strongly expressed glazing mullions.



**Adopted March 24, 2008**  
**Old Town Clifton Mixed Use District and Design Standards**

**c. *Design Treatment of Entries***

The primary entry of a building and/or its shop front should be visually emphasized so that pedestrians can easily find them.

**d. *Design Treatment of Entries***

The primary entry of a building and/or its shop front should be visually emphasized so that pedestrians can easily find them.

**e. *Pedestrian Access and Façade Transparency***

Provide a safe, convenient, and friendly pedestrian environment.

**f. *Storefront security closures.***

Opaque (solid) storefront security closures (rolling doors, etc.) are not allowed.

**g. *Minimum Ground Floor Transparency***

1. A significant amount (20% or more) of one, street facing, ground floor facade should be transparent, and/or should provide display windows.
2. The wall surface within which the transparent areas should be provided is measured from the finished grade level at the base of the wall, to the second level finished floor elevation.
3. Such transparency should create views of interior functions where privacy or operational requirements allow. If display windows are used, they should be maintained with items of interest.
4. Transparent doors may count as part of the desired area.
5. Windows whose sills are higher than 4 feet 6 inches above finished floor should do not count.
6. Glazing should have a visible light transparency percentage of at least 60%.
7. The framing system of the window, storefront glazing, and/or entry may be included in the transparent area calculations. However, structural elements may not be included in the area calculations.

**Adopted March 24, 2008**  
**Old Town Clifton Mixed Use District and Design Standards**

8. In cases where operational or functional requirements prevent the minimum provision of transparent glazing or display windows, the blank wall should be treated in ways to articulate, create scale, interest, and variety as described in 7.4.b.

***h. Maximum Ground Floor Transparency***

The maximum amount of ground floor transparent glazing should be limited to 65% of the ground floor facade as defined in 7.4.g .

***i. Pedestrian Entries***

1. Buildings should have at least one significant pedestrian entry (used singly for one use or jointly for several uses), that faces the street or public way.
2. Individual ground floor shops within a building should have a direct pedestrian entry.

***j. Building Materials***

Use façade materials that are attractive, durable and simple to maintain.

***k. Reflective Glass***

Reflective glass whose percentage of outdoor, visible light reflectivity is greater than 19% shall not be used.

***l. Durable Materials***

1. Materials should be used that require little maintenance and repair.
2. Plywood paneling should be discouraged, however, in keeping with older and historical structures; the appropriate use of wood could be included as an acceptable material.
3. Prefabricated industrial metal siding is not allowed.
4. Metal spandrel panels and trim are acceptable.
5. If an Exterior Insulating Finish System (EIFS or synthetic stucco) is used it should be additionally protected at the ground floor level and at locations where a high degree of contact with people, vehicles or equipment is expected.

**Adopted March 24, 2008**  
**Old Town Clifton Mixed Use District and Design Standards**

***m. Quality of Materials and Application***

1. High standards for exterior materials, exterior building systems, and their application are expected.
2. In particular, the design and application of EIFS or synthetic stucco is expected to be of a high enough quality to allow for fine detailing and substantial surface relief.

***n. Masonry and Concrete System Finishes***

Concrete Masonry Units, poured-in place concrete walls, or pre-cast concrete panels are encouraged to be integrally colored or stained, and have architectural finishes. However, such masonry and concrete systems may be designed to accept a painted surface in order to provide a finish that can be reasonably resurfaced to remove graffiti.

***o. Desired Materials***

The used of masonry materials, particularly brick, for significant portions of a building's facades is encouraged.

**7.5 Pedestrian Access and Facade Transparency**

***a. Intent:***

Provide a safe, convenient, and friendly pedestrian environment.

***b. Storefront Security Closures***

Opaque (solid) storefront security closures (rolling doors, etc.) are not allowed.

***c. Minimum Ground Floor Transparency***

1. A significant amount (20% or more) of one, street facing, ground floor facade should be transparent, and/or should provide display windows. The wall surface, within which the transparent areas should be provided, is measured from the finished grade level at the base of the wall, to the second level finished floor elevation.
2. Such transparency should create views of interior functions where privacy or operational requirements allow. If display windows are used, they should be maintained with items of interest.

**Adopted March 24, 2008**  
**Old Town Clifton Mixed Use District and Design Standards**



3. Transparent doors may count as part of the desired area. Windows whose sills are higher than 4 feet 6 inches above finished floor do not count. Glazing should have a visible light transparency percentage of at least 60%. The framing system of the window, storefront glazing, and/or entry may be included in the transparent area calculations. However, structural elements may not be included in the area calculations.
4. In cases where operational or functional requirements prevent the minimum provision of transparent glazing or display windows, the blank wall should be treated in ways to articulate, create scale, interest, and variety as described above.

**d. Maximum Ground Floor Transparency**

The maximum amount of ground floor transparent glazing should be limited to 65% of the ground floor facade as described above.

**e. Pedestrian Entries**

Buildings should have at least one significant pedestrian entry (used singly for one use or jointly for several uses), that faces the street or public way. Individual ground floor shops within a building should have a direct pedestrian entry.

*Facade*

Adopted March 24, 2008  
Old Town Clifton Mixed Use District and Design Standards

7.6 Commercial Infill Development/Redevelopment



Illustrative Example – Commercial

**a. Definition**

1. A commercial infill project shall be new construction of a building or buildings less than 20,000 square feet in gross floor area and in a commercial or mixed-use zoned district.
2. A commercial redevelopment project shall be any alteration made to an existing structure of less than 20,000 square feet in gross floor area used for commercial or mixed-use purposes.



*Illustrative Example- Façade Renovation*

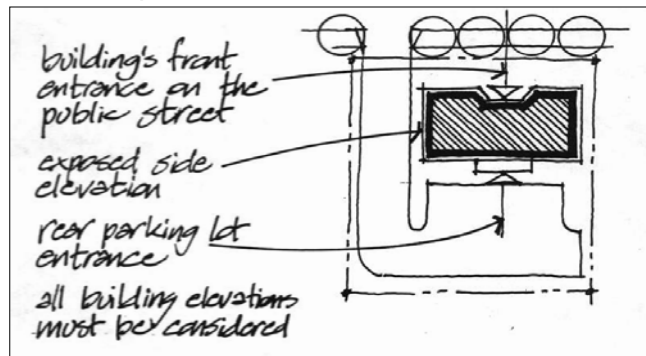
**Adopted March 24, 2008**  
**Old Town Clifton Mixed Use District and Design Standards**

**b. Site Planning**

1. Promote a pedestrian safe and friendly environment.
2. Promote continuity and connection to adjacent properties.
3. Provide a safe, quiet, and visually pleasing transition to residential properties.

**c. Building Orientation**

1. The front of the building or the main façade with a pedestrian entry shall face the public street.
2. The sides of buildings facing a public street shall have a level of finished architectural quality appropriate to the public character of that street.
3. The rear or side of buildings facing residential zones shall also have an architectural quality appropriate to this exposure. All elevations shall be considered.



**d. Surface Parking and Drives**

Surface parking and drives allowed between a public street and a building façade shall have an adequate landscape buffer between the public right-of-way and the parking lot.

**Adopted March 24, 2008**  
**Old Town Clifton Mixed Use District and Design Standards**

**7.7 Building Character and Theme**

**a. Intent**

1. Create buildings and renovate existing buildings that fit in with the overall character and context of the architectural styles and themes of the surrounding commercial development.
2. Provide creative solutions that provide contemporary interpretations of traditional architectural and cultural forms and concepts.



Illustrative Example – Commercial Redevelopment

**b. Interrelate Adjacent Buildings**

1. The design of new infill development should recognize the architectural character and forms of structures in the vicinity by not overpowering or not relating to the context of the architecture.
2. Aligning rooflines, windows, and use of similar materials, colors or architectural details are ways to relate to the context of neighboring buildings.



**Adopted March 24, 2008**  
**Old Town Clifton Mixed Use District and Design Standards**

**c. *Standardized Architectural Character***

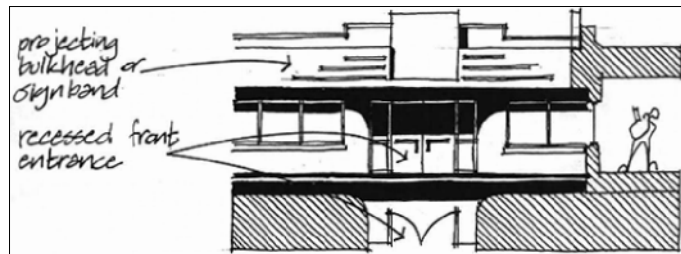
Buildings that express a standardized corporate identity should also incorporate architectural forms, materials, colors and elements that relate to the architectural character of other commercial structures in the vicinity.

**e. *Building Form and Bulk***

Create buildings that provide human scale, interest and variation in their overall form.

**f. *Vertical or Horizontal Plane***

1. Buildings should have at least one variation (a minimum of one foot) in the face of the building that fronts a street. Such a change may be accomplished by protruding bays, recessed entries, upper level step-backs, or offsets in the general plane of the facade.
2. Changes in a facade's plane may also be made by permanent elements attached to a façade, including but not limited to pilasters, bay windows, vestibules, porches, balconies, exterior shading devices, non-retractable canopies or awnings, projecting cornices or eaves.

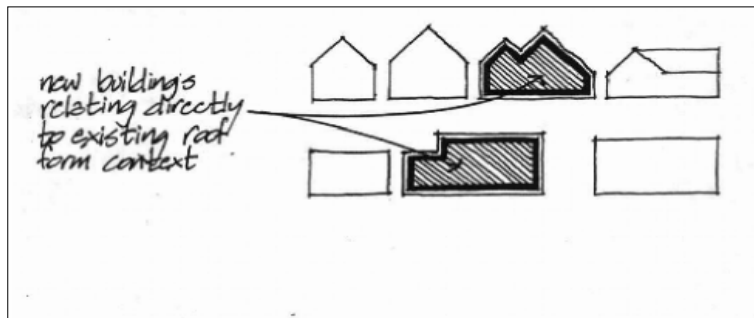


***Change in Plane***

**Adopted March 24, 2008**  
**Old Town Clifton Mixed Use District and Design Standards**

**7.8 Roof Design**

- a. The design of the roof form, and other related elements such as roof material, color, trim, and lighting should be an integral and balanced part of the architecture.
- b. Additions to existing buildings should relate to the roof design of the existing building roof form.
- c. Flat roof additions to sloped roof buildings and visa versa are discouraged.



**Roof Design**

**7.9 Mechanical Equipment**

- a. Rooftop mechanical equipment shall be completely screened from ground level views, or located within enclosures.
- b. Screening elements and/or enclosures should be composed of forms, materials and colors that are either an extension of the building's exterior form, material and color palette: or neutral forms, materials and colors designed to minimize their visual impact.

**Adopted March 24, 2008**  
**Old Town Clifton Mixed Use District and Design Standards**

**8.0 SIGN DESIGN STANDARDS**

***Intent***

1. *Provide high quality sign and graphic design.*
2. *Create signs and graphic elements appropriate to and expressive of the use they identify.*
3. *Create organized and inter-related collections of signs, sign structures and graphics.*
4. *Create signs and graphic elements that are related to and/or respect the architecture of the building which they serve.*
5. Encourage high quality lighting design.
6. *Use high quality, durable materials appropriate to a commercial setting.*

**8.1. General Sign Requirements and Guidelines**

**a. Requirements**

- a. Billboards are not allowed in the MU-OTC zone District.
- b. Sign height shall not exceed 12 feet and otherwise shall comply with chapter 8 of the Mesa County Land Development Code.

**b. Electrical Service**

All conduits, bus bars, transformers and other elements of electrical service shall be concealed from external view, or integrated into the design of the sign.

**b. General Design**

Signs should creatively use two and three dimensional form, profile, and iconographic representation, lighting, typography, color, and materials in expressing the character of the use, the identity of the development, the character of the neighborhood, the architecture of the building, and/or the history of the site.

**Adopted March 24, 2008**  
**Old Town Clifton Mixed Use District and Design Standards**

***c. Sign and Building Design***

1. Signs shall fit within the architectural features of the facade, and compliment the building's architecture.
2. Signs shall not overlap and conceal architectural element.

***d. Sign Lighting***

1. Sign lighting shall be coordinated with the lighting of building elements, and storefront lighting.
2. Internally illuminated, translucent sign faces as part of a sign box are strongly discouraged, particularly when they are lighter than the sign's typography. However, internally illuminated opaque sign faces with translucent typography, or internally illuminated individual channel letters with translucent faces are acceptable.

***e. Sign Typography***

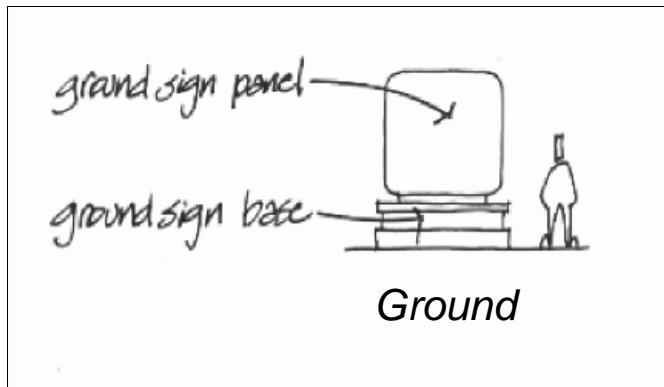
1. Sign typefaces shall be simple, legible, and well proportioned.
2. Typefaces shall be designed to be legible from a moving vehicle.

***f. Historic Themes***

Sign design shall reflect historic themes, typography, forms and other elements used in the past.

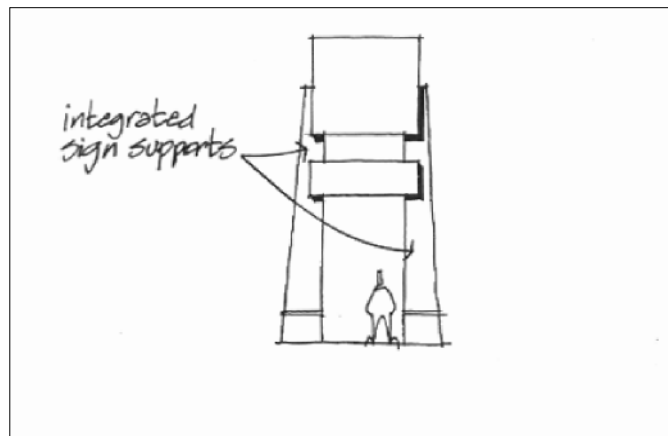
Adopted March 24, 2008  
Old Town Clifton Mixed Use District and Design Standards

**g. Ground Signs**



1. Encourage ground signs to be integrated with the design of buildings, low walls, and other elements which help define the space of streets, and create visual connections between buildings.
2. Ground signs shall be supported by walls or specially designed columns. As a general guide, wall supports shall extend the width of the sign background and be at least one (1) foot high at finished grade.
3. Columns or poles, which are used to support ground signs, shall be specially designed as an integral part of the overall sign character and not be designed as merely low cost and expedient methods of structural support.

**Ground Sign Supports**



**Adopted March 24, 2008**  
**Old Town Clifton Mixed Use District and Design Standards**

***h. Supporting Wall Material***

The materials of the ground sign's supporting wall shall be the same as or closely related to the materials used on the building to which the sign is related.

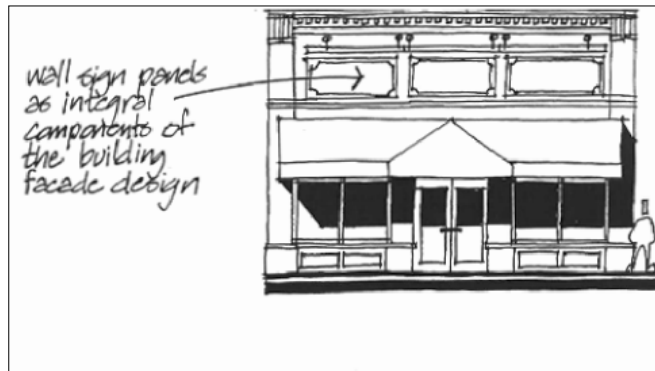
***i. Building Attachment of a Ground Sign***

The wall which supports a ground sign may be attached to a building if the wall and its signage are integrated into the architecture of the building, or if the wall's attachment is incidental to the building's architecture.

***j. Wall Signs***

In addition to other general sign design guidelines in this section, building facades shall be designed to provide areas allocated for wall signs unless it can be shown that the building is designed to contain a use or uses which do not require signage on the face of the building.

***Integrated Wall-Mount Sign***



***k. Projecting Signs***

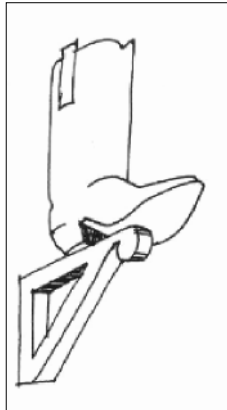
1. Encourage innovative and unique signs and graphics, particularly in two and three dimensional form, profile and iconographic representation.

**Adopted March 24, 2008**  
**Old Town Clifton Mixed Use District and Design Standards**

2. *Projecting Sign Design*

- a. In addition to other general sign design guidelines in this section projecting signs shall be especially creative in the use of two and three dimensional form, profile and iconographic representation.
- b. Signage, which simply maximizes allowable volume in rectangular form, is strongly discourages.

**Protecting Sign Icon**



***l. Sign Support***

The structural support of projecting signs shall be integrated into the design of the sign itself, either by being simple and inconspicuous, or by being creative in the use of structural elements, lighting, color and materials.

***m. Spacing of Projecting Signs***

Projecting signs shall not be located less than twenty-five (25) feet apart unless:

- a. the sign work together to make a unified and compatible design or message that is stronger as a group than a single sign.
- b. The sign group is compatible with the building architecture, reinforcing the sign intent of a significant building feature such as a primary entry.

**Adopted March 24, 2008**  
**Old Town Clifton Mixed Use District and Design Standards**

**9.0 MAINTENANCE STANDARDS**

**9.1. *Architectural Elements***

The intent of the maintenance standards for architectural elements is to create a framework and minimum standards to maintain private property to the level of quality and finish that were proposed and approved at the time of initial installation.

**9.2 *Site Elements***

*1. Paving, Walks, Curbs and Gutters*

All asphalt, concrete and masonry paving, walkways, curbs and gutters on private property shall be adequately maintained or replaced when damaged or worn by weather.

*2. Fencing*

Fencing that has been damaged, worn or substantially altered from the original approved installation shall be repaired to like new condition or completely replaced.

*3. Landscaping*

a. Landscaping on private property shall be adequately maintained and cared for according to the standards for maintenance of landscape materials contained in this document.

*4. Refuse and Litter*

a. Refuse and litter shall be immediately removed from private property and not be allowed to accumulate.

b. On site containment shall be in containers acceptable by Mesa County.

*5. Storage of Material and Equipment*

a. The storage of material, equipment, merchandise, goods or other items on site without the proper screening is not allowed



**Adopted March 24, 2008**  
**Old Town Clifton Mixed Use District and Design Standards**

**9.3. Buildings**

1. Painted Surfaces

Painted surfaces shall be repainted when paint begins to peel, fade or otherwise appear to be deteriorating.

2. Exterior Materials

a. Exterior finish materials that are visible to the public shall be kept in good condition.

b. Any material that has been damaged shall be replaced.

c. Materials that deteriorate due to exposure to weather such as wood and some plastics shall be replaced when they appear faded and worn.

3. Graffiti

Graffiti shall be removed, or if the surface is painted, painted over within 72 hours.

4. Glazing

Broken or damaged windows shall be replaced with glass within 72 hours of the incident.

**Adopted March 24, 2008**  
**Old Town Clifton Mixed Use District and Design Standards**

**10.0 DEFINITIONS**

*The following definitions shall apply to the Old Town Clifton Mixed Use District (MU-OTC). The Mesa County Land Development Code shall cover definitions not specifically mentioned within the Overlay District Regulations.*

**Alterations** shall mean any construction or renovation to an existing structure other than repair, addition, or painting.

**Architectural Character** shall mean the basic detailing, architectural rhythm, appearance and historic period of a building, or group of buildings or structures, including the site and landscape development.

**Architectural Detailing** shall mean the placement and/or construction of the different architectural features throughout the entire building including all horizontal or vertical surfaces.

**Architectural Feature** shall mean a prominent or significant part or element of a building, structure, or site. Architectural features may include special lines, massing, projections, recesses, and/or texture.

**Architectural Style** shall mean the characteristic form and detail, such as of buildings of a particular historic period or a particular type of design.

**Attached Sidewalk** – A sidewalk which is attached to the back of the street curb.

**Automobile Parking Area, Parking Lot, Parking Structure** – Lot or structure for temporary storage of automobiles and like vehicles which meet state inspection standards and are not for sale.

**Bays** shall mean that within a structure and a regularly repeated spatial element defined by beams or ribs and their supports.

**Branching Height** – The typical dimension between the ground and the lowest limb of a tree.

**Caliper** – The diameter of the trunk of a tree measured 6 inches above the ground.

**Character** – A viewers impression of the elements which make up a particular composition of the landscape, trees, buildings, space, furniture, materials and colors.

**Commercial Street** – A street where the primary activity is to provide goods and services to the public. An area of shops, stores, service businesses and offices.

**Composition** shall mean the assemblage of architectural features and details of a specific architectural style or the use of materials that are based upon specific examples found in an area or time period.

**Adopted March 24, 2008**  
**Old Town Clifton Mixed Use District and Design Standards**

**Creative Signage** shall mean signs that are non-traditional, historic in nature, or otherwise vary from currently utilized practices that relate to the design and placement of signs.

**Design Guidelines** – A set of minimum guidelines, recommendations and requirements to guide the design of land developments within a given area.

**Detached Sidewalk** – A sidewalk along the street which is not attached to the back of the street curb. Typically, detached sidewalks are separated from the curb with a tree lawn or landscaped planter area.

**Emergency Repairs** shall mean any and all repairs necessary to create a watertight building or structure due to a recently occurring natural disaster, including but not limited to a flood, tornado, lightning, or hail.

**Facade** shall mean that portion of any exterior elevation on the building extending from grade to the parapet, wall, or eaves and the entire width of the building elevation.

**Landscaping or Landscaped Area** – Any combination of living plant materials including organic decorative materials such as rock mulches, provided that at least 75% of the landscaped area is covered by plant beds containing living plant materials or by turf grass.

**Lines** shall mean visual elements of the building, either within the façade or on the building edge, which are in a linear form either horizontally or vertically and may be composed of masonry, glass, or other related materials.

**Mass** shall pertain to the volume, bulk of a building or structure.

**Median** – A raised island of paving or planting located in the center of the street dividing the two ways of travel along a street.

**Pedestrian Illumination** – Human scale lighting that provides special effects in pedestrian areas along streets, in plazas, and transit stops. Typically, lighting fixtures are pole-mounted luminaries in the 14' to 16' height range, lighted bollards or other low level light fixtures.

**Projections** shall mean items such as sills, eaves, cornices, canopies, porches, and chimneys.

**Recesses** shall mean portions of the building both in the horizontal and vertical planes that are setback from the building wall either for pedestrian articulation, to provide space for windows and/or doors or to create special architectural detailing.

**Rhythm** shall mean the recurrence at regular or uniform intervals of features especially windows, masonry, textures, etc. within a building.

**Scale** – The proportions of elements that relate to the street, parking areas, plazas and pedestrian ways in relation to the human or automobile. Scale affects the arrangement of elements to form spaces that are comfortable for pedestrians and drivers alike.

**Adopted March 24, 2008**  
**Old Town Clifton Mixed Use District and Design Standards**

**Streetscape** – *The landscape, pedestrian or other improvements within the public right-of-way. It is typically an area between the curb and right-of-way line. In some cases, it may be within easements adjacent to the right-of-way.*

**Street Trees** – *Large shade trees that line the street in a regularly spaced row. They are typically located within the tree lawn.*

**Texture** shall mean the quality of a surface, ranging from mirror finish, smooth, to coarse and unfinished.

**Tree Lawn** – *The area between the back of the curb and the detached sidewalk.*